

Staff Report City of Loma Linda

From the Department of Community Development

PLANNING COMMISSION MEETING OF JUNE 7, 2006

TO: PLANNING COMMISSION

FROM: DEBORAH WOLDRUFF, AICP, DIRECTOR,
COMMUNITY DEVELOPMENT DEPARTMENT
SUBJECT: Tentative Tract Map (TTM) No. 17650 and Precise Plan of Design
(PPD) No. 06-08

SUMMARY

This is a request to subdivide four existing lots into eight single family residential lots, demolish two residential structures, and remodel two existing single family residences. The lots range in size from 7,423 square feet to 11,059 square feet. The proposed residential units range in size from 2,000 square feet to 2,300 square feet with three to four bedrooms and two and one half to three bathrooms each. The project site is located on the northwest corner of Park Avenue and Curtis Street. The project plans are attached for your convenience (see Attachment A).

RECOMMENDATION

The recommendation is that the Planning Commission:

Deny TTM No. 17650 and PPD No. 06-08 based on the lack of pertinent information about the project site and the potential effects of the project provided in the environmental analysis.

PERTINENT DATA

Property Owner/Applicant: Rohit Doshi & Navnit Desai/Pete Volbeda

General Plan/Zoning: Residential Low Density/Single-Family Residence

Site: Approximately 2.3 acres

Topography:	Predominantly flat with a gentle slope to the north
Vegetation:	Mostly vacant with existing landscaping and mature trees from onsite structures
Special Features:	Four existing single-family structures

BACKGROUND AND EXISTING SETTING

Background

On March 27, 2006, the applicants submitted a Precise Plan of Design application for the above referenced project to be reviewed concurrently with the Tentative Tract Map application that was submitted on December 15, 2005. The project was reviewed by the Administrative Review Committee (ARC) on March 28th and was deemed complete. However, additional documents and corrections to the plans (See Attachment B) were required for analysis. Along with a traffic study, the applicant was required to submit a complete historical resources analysis that evaluates the significance of all resources on the site. The applicant was given until May 10, 2006 to submit the required studies so that the environmental documents could be prepared and project processing could continue. As of writing this staff report, the applicant has not submitted the technical studies or corrected plans.

Existing Setting

The project site is the culmination of four parcels that yield approximately 2.3 acres at the northwest corner of Park Avenue and Curtis Street. A private unpaved drive (running north/south) divides the parcels. There are four existing single-family residences on the project site, and the site is primarily flat, and clear of vegetation. Two of these structures (10614 Curtis Street and 10624 Curtis Street) are proposed for demolition. The structures proposed for demolition were constructed in the mid 1940's (10624 Curtis) and the early 1950's (10614 Curtis) and are examples of the post World War II variation of the modern style, which was prominent in the suburban areas of the time.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATUS

Due to the size and scope of the proposed project, the request is subject to CEQA requirements. However, the applicant has not submitted the documents required for further analysis of the site.

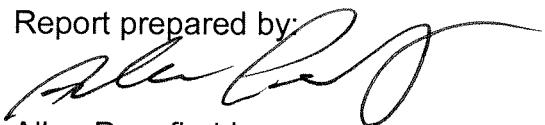
ANALYSIS

Staff is unable to continue processing the project, prepare the environmental documents, or make findings due to the lack of information. The required historical resources report, traffic study and plan corrections were not submitted by the applicant.

CONCLUSION

Staff recommends that the Planning Commission deny TTM No. 17650 and PPD 06-08 based on the lack of pertinent information about the project site that are needed to make the necessary findings and environmental impact analysis.

Report prepared by:



Allan Penaflorida
Planning Technician

ATTACHMENTS

- A. Project Plans
- B. Complete Letter Checklist

I:\Project Files\PPD's\PPD 06-08 Dohsi\PC 6-7-06 SR.doc

Attachment A

Project Plans

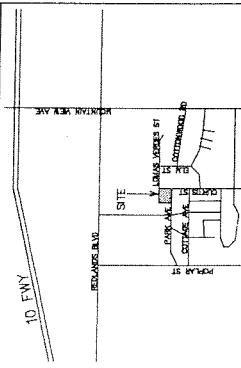
HERITAGE ESTATES

TRACT #2005-04

LOMALINDA

PROJECT INFORMATION:

ARCHITECT: PETE VOLBEDE
 ADDRESS: 615 N. BENSON AVE., UNIT C, UPLAND, CA 91786
 PHONE: (909) 373-1150
 OWNER: DESAI, NAVIT & DOSHI, BOB
 ADDRESS: 408 S. GLADYS, SAN GABRIEL, CA 91776
 PHONE: (626) 285-3588
 PROJECT NUMBER: 2005-04
 CORTES STREET
 LEGAL DESCRIPTION: 104 S. CORTES STREET
 CIVIL ENGINEER: CIV. INK CERT. WORKERS
 ADDRESS: 880 BENSON AVE., SITE 100, MONTCLAIR, CA 91763
 PHONE: (909) 949-1783



VICINITY MAP *N/S

GENERAL PLAN LOW RESIDENTIAL
 ZONE R-1
 CONSTRUCTION TYPE VN

MODEL # PORCH GARAGE 1ST FLOOR (LIVING) 2ND FLOOR (LIVING) TOTAL LIVING AREA TOTAL FOOTPRINT

A	271 S.F.	473 S.F.	1225 S.F.	1089 S.F.	2314 S.F.	1915 S.F.
B	138 S.F.	475 S.F.	1485 S.F.	816 S.F.	2301 S.F.	2098 S.F.
C	198 S.F.	615 S.F.		2072 S.F.		2072 S.F.

ALL PLANS AND WORK FOR THE PROJECT SHALL CONFIRM TO AMENDMENTS.
 THE REQUIREMENTS OF THE FOLLOWING CODES WITH LOCAL AMENDMENTS.

CALIFORNIA CODE OF REGULATIONS, TITLE 19
 2001 CALIFORNIA BUILDING CODE
 2001 CALIFORNIA MECHANICAL CODE
 2001 CALIFORNIA PLUMBING CODE
 2001 CALIFORNIA ELECTRICAL CODE
 2001 CALIFORNIA CONSTRUCTION CODE
 2001 CALIFORNIA CONTA SECURITY ORD.

LIC N C13077 TEL 909 373 1150 FAX 909 373 1152
 615 N BENSON AVE. SUITE C, UPLAND CA 91786
 PETE VOLBEDEA Architectural

COVER SHEET
 HERITAGE ESTATES (8 HOMES)
 104A UMDA CA
 PETE VOLBEDEA Architectural
 DATE 06/01/04
 DRAWN BY PETE VOLBEDEA
 CHECKED BY PETE VOLBEDEA
 APPROVED BY PETE VOLBEDEA
 INDEX
 COVER SHEET
 C SITE PLAN
 L LANDSCAPE PLANTINGS
 E1. EXISTING ELEVATIONS
 E2. EXISTING ELEVATIONS
 MODEL A
 1. 1ST FLOOR PLAN
 2. 2ND FLOOR PLAN
 3. FRONT & REAR ELEVATIONS
 4. SIDE ELEVATIONS
 MODEL B
 5. 1ST FLOOR PLAN
 6. 2ND FLOOR PLAN
 7. FRONT & REAR ELEVATIONS
 8. SIDE ELEVATIONS
 MODEL C
 9. 1ST FLOOR PLAN
 10. FRONT & REAR ELEVATIONS

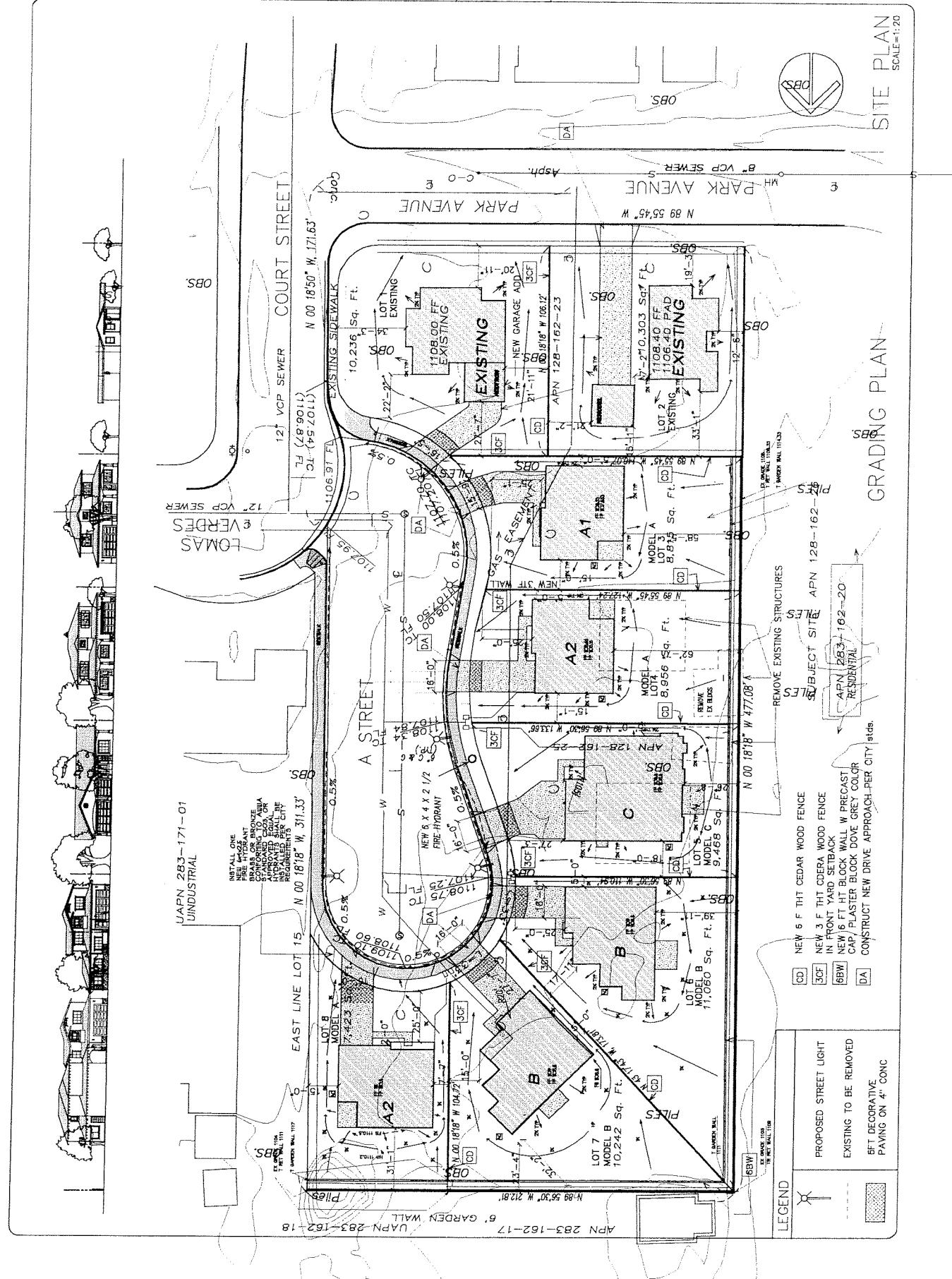
LOT #	MODEL #	TOTAL FOOTPRINT	LOT AREA	LOT COVERAGE	LANDSCAPE AREA
1	EXISTING	179 SF	10,236 SF	17%	8000 SF 78%
2	EXISTING	1985 SF	10,303 SF	19%	8000 SF 76%
3	A	1915 S.F.	8,815 SF	21.7%	6400 SF 72%
4	A	1915 S.F.	8,936 SF	21.3%	6400 SF 72%
5	C	2855 S.F.	9,463 SF	30.5 %	6023 SF 64.2%
6	B	2098 S.F.	11,059 SF	18.9%	8,964 SF 76.5%
7	B	2098 S.F.	10,942 SF	20.4%	7826 SF 76.4%
8	A	1915 S.F.	7,443 SF	25.7%	5008 SF 67%

SITE PLAN

S

SITE PLAN

SCALE=1:20



LANDSCAPE PLAN		PETE VOLBEDA		Retirement Pre Planning		10654 CURTS STREET		HERITAGE ESTATES		LOMA LINDA, CA	
NAME	ADDRESS	NAME	ADDRESS	NAME	ADDRESS	NAME	ADDRESS	NAME	ADDRESS	NAME	ADDRESS
RENEE	300 30th	JOHN	165 N BEINSO AVE.	RON	615 N BEINSO AVE.	RON	615 N BEINSO AVE.	RON	615 N BEINSO AVE.	RON	615 N BEINSO AVE.
RENEE	DATE	JOHN	DATE	RON	DATE	RON	DATE	RON	DATE	RON	DATE
	3/20/04		3/20/04		3/20/04		3/20/04		3/20/04		3/20/04
TEL 909 373 1150 LIC NO C13077 FAX 909 373 1152											

OWNER: DESAI, NAVIT & DOSHI, BOB
ADDRESS: 408 S. GLADYS, SAN GABRIEL, CA 91776
PHONE: (626) 285-3189

PRELIMINARY PLANT LEGEND

NAME	ADDRESS	DATE
MR/MRS/MISS	NO. OF GUESTS	DATE
PHONE NO.	TELEGRAM NO.	DATE
PETE VOLBEEDER Petrielle Corp. Plastics 615 N BEERSON AVE. SUITE C UPLAND CA 91786		
TEL 909 373 1150 LIC NO C10307 FAX 909 373 1152		

HERITAGE ESTATES
6064 CURTIS STREET
OMA LINDA, CA

1

LANDSCAPE PLAN

AN
E=1:20

This architectural site plan illustrates a residential layout along three streets: PARK AVENUE, A STREET, and COURT STREET. The plan shows various lots labeled A1 through A7, B, C, and D, each with specific building footprints and landscaping requirements. Key features include:

- PARK AVENUE:** Located at the top right, featuring Lot 2 Existing.
- A STREET:** The central street, featuring Lots A1, A2, B, C, and D.
- COURT STREET:** The street running vertically on the left side.
- Landscaping:** Circular symbols representing trees and shrubs are placed throughout the lots, with labels like "LAWN", "BRO", "NEW", and "PEL".
- Lot Descriptions:** Lots A1, A2, B, and C are described as "MODEL A LOT 3". Lots D, E, F, and G are described as "MODEL B". Lots A3, A4, A5, A6, and A7 are described as "MODEL C".
- Utilities:** Labels for "WATER", "SEWER", and "GAS" are present near the lots.
- Other:** A compass rose is located in the top right corner, and a "PROPOSED STREET LIGHT" is indicated on A Street.

LEGEND 	PROPOSED STREET LIGHT EXISTING TO BE REMOVE: 	6FT DECORATIVE PAVING ON 4" CONC 
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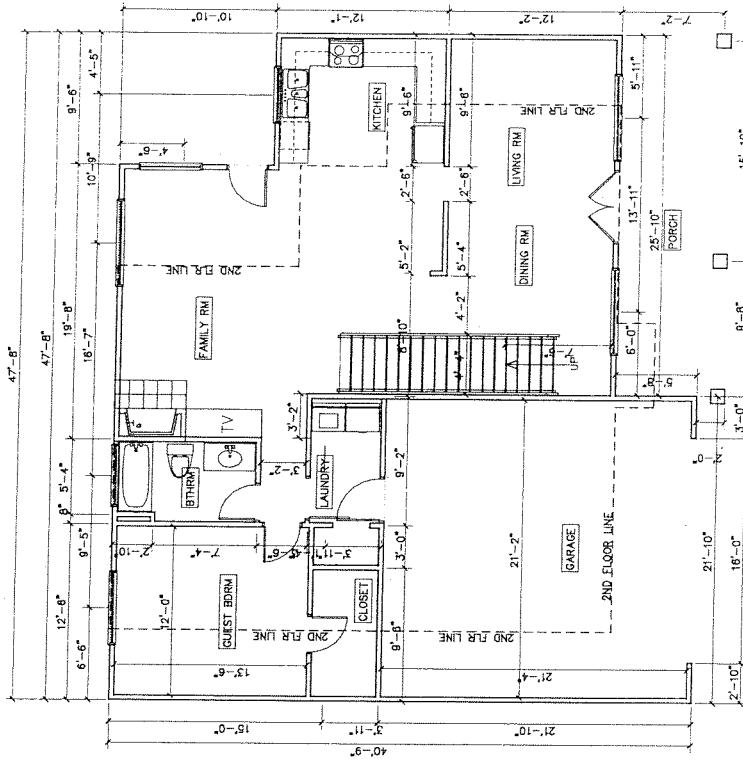
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SCALE - 1/4" = 1'

1ST FLOOR PLAN - MODEL A

WATER HEATER SHALL BE TIGHTLY WRAPPED IN AN INSULATED PLATE FORM.
NEW THERMOSYNTHERM TANKS SHALL BE STRAPPED TO THE WALL
IN TWO PLACES ONE IN THE UPPER
1/3 AND ONE IN THE LOWER 2/3 OF THE TANK AND ONE IN THE
MIDDLE OF THE TANK. THE LOWER POINT SHALL BE A MIN.
OF FOUR INCHES ABOVE THE CONTROLS. (P.C. 510.5)

Area = 1228.389 square feet
TOTAL LIVING AREA 234 SQ FT



WALL TYPE	EXISTING WALLS	NEW WALLS	REMOVE WALL
DATE	DESIGN	NAME	PHONE NUMBER
DATE	DESIGN	NAME	PHONE NUMBER
DATE	DESIGN	NAME	PHONE NUMBER
DATE	DESIGN	NAME	PHONE NUMBER

PETE VOLBEEDR Architectural Planching
615 N BEESON AVE. SUITE C CIRLAID CA 9766
TEL 909 373 1150 FAX 909 373 1152

HERITAGE ESTATES
10644 CORTES STREET
LOMA LINDA, CA

2ND FLOOR PLAN - MODEL A

SCALE - 1/4"

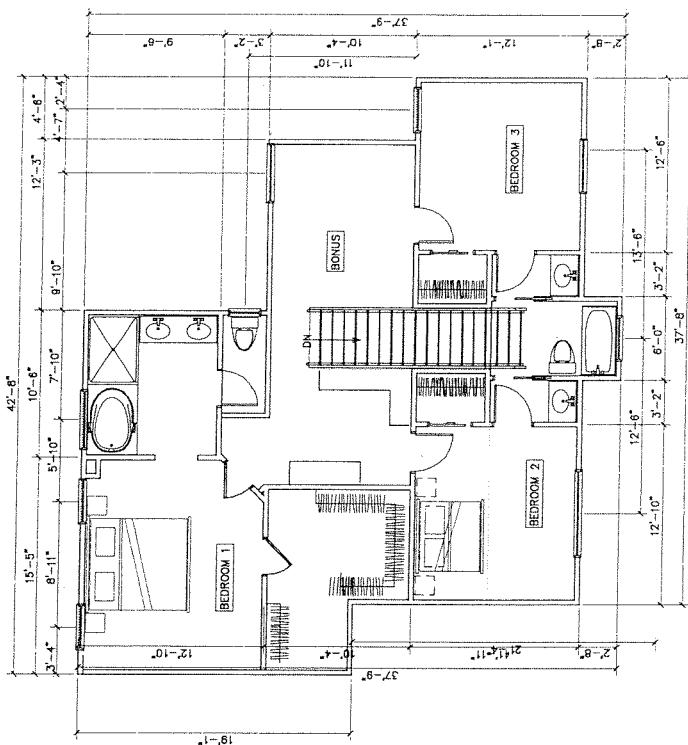
10644 CURTIS STREET
LOM LINDA, CA

TEL 909 373 1150
FAX 909 373 1152

615 N BESSON AVENUE, SUITE C
BELMONT, CA 94002

PETE VOLLEBRED Architectural Services

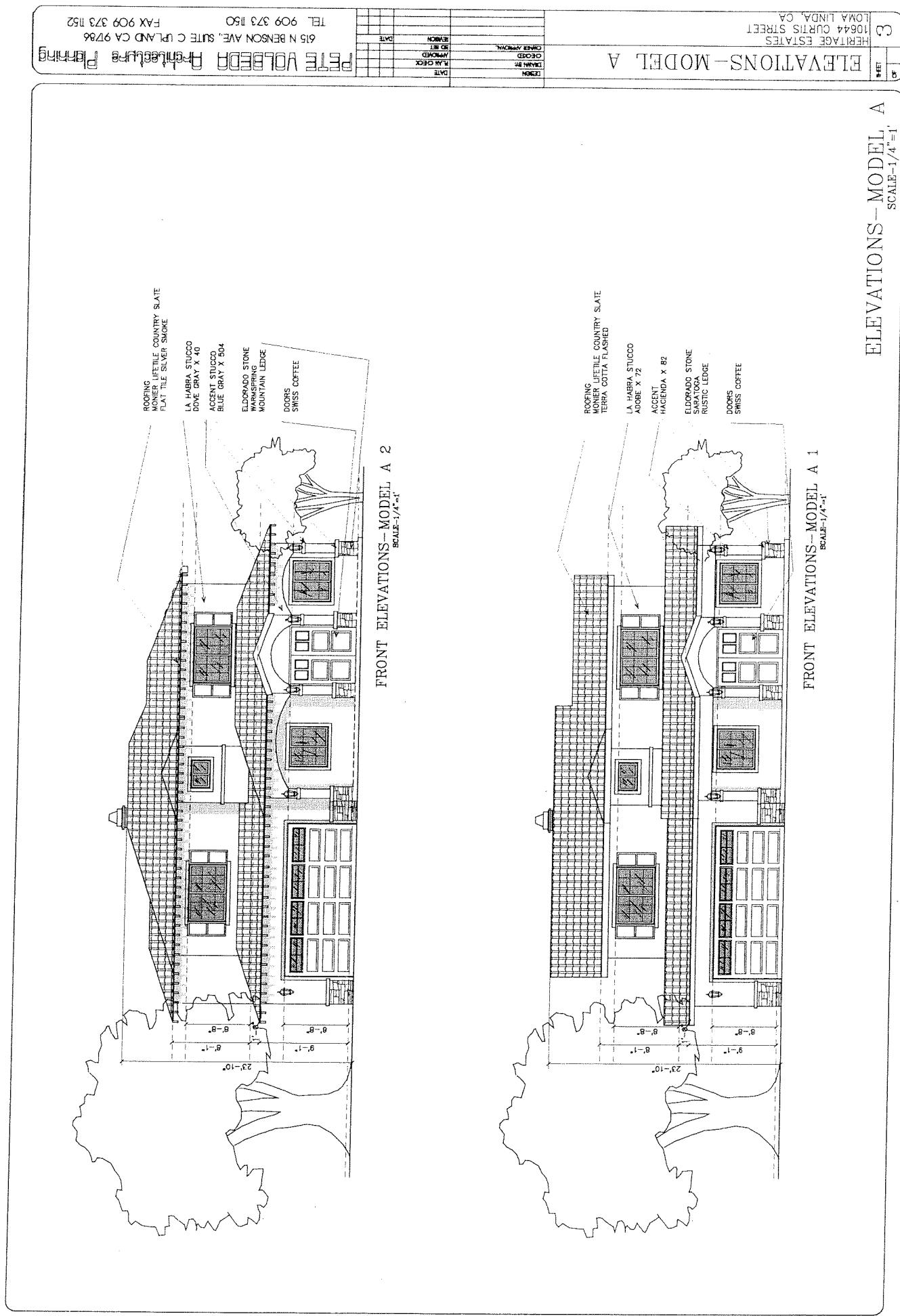
A



Area = 1085.139 units squared.

GENERAL NOTES	1 CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND NOTICES OF EXISTENCE PRIOR TO STARTING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING ON ANY WORK IN QUESTION.		
2 FLOOR PLAN NOTES	ALL STUDS SHALL BE STUD GRADE 2X4 @ 16" OC. 2X6 FRAMING ALLOWING FOR ALL STUDS, FOLLOWS.		
FRAMING STUDS	STUDS SHALL BE STUD GRADE NO. 2 DF GLUE LAMINATED TIMBER 2X4 FVA UNO PROVIDE		
JOISTS AND RAFTERS	1-1/8" MIN PENETRATION BY MILIT NO. DN 17 (3704) EDGE DISTANCE FROM THE EDGE OF CONCRETE GIO NO. 1280 AND 2MM, 1/2 MIN EDGE STUDS SHALL BE 4-1/2" W/ 1/2 MIN FROM END OF PLATE SIGN ALL ADJ SPLIT JOISTS SPANNING PER LA COUNTY BUILDING DEFORMED GRADE 40 PLEMBED GRADE 40		
BEAMS AND HEADERS	2ND FLOOR (1/2" X 6" X 10") NL W/ 8d • 6x10, VENITY W/ OPEN GLUE TO FLOOR JOISTS		
POWER & DATA	3 NAILING SCHEDULE THE GENERAL CONTRACTOR IS TO USE THE NAILING SCHEDULE PROVIDED IN THE LATEST ISSUE OF THE UNIFORM BUILDING CODE IT WOULD BE RECOMMENDED TO DUPLICATE THIS INFORMATION SINCE THE GENERAL CONTRACTOR SHOULD HAVE A COPY OF THE CURRENT CODE BOOK AT HAND AND READILY AVAILABLE.		
WATER HEATING	4 REINFORCING STEEL BAR SHALL CONFORM TO ASTM A615		
PLUMBING	5 DEFORMED GRADE 40 ALL FLOORING DRAIN LINES SHALL BE CAST IRON IN WALLS AND FLOORS		

SMOKE DETECTORS:
HARD-WIRE SMOKE DETECTORS WITH A BATTERY BACK-UP, LOCATED IN EACH SLEEPING ROOM AND AT A POINT CONTROLLING ALL SLEEPING ROOMS OR AREA GIVING ACCESS TO EACH SLEEPING ROOM. DETECTOR SHALL BE LOCATED AT EACH STORY AND BASEMENT, ON THE UPPER LEVEL OF SPLIT LEVEL STORES AND BOTH LEVELS OF SLEEPING AREA IS ON LOWER LEVEL. A DETECTOR SHALL BE LOCATED IN CLOSE PROXIMITY TO THE STAIRWAY WHERE THE CHILD HABITUALLY USES ON THE UPPER LEVEL OF THE HALLWAY SERVING THE BEDROOMS, EXCEPTS THAT OF THE HALLWAY BY 24" OR MORE. DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND NEAR THE HIGH POINT OF THE ADDITION ROOM. (BATTERY OPERATED SMOKE DETECTOR PERMITTED IN EXISTING CONSTRUCTION ONLY.)



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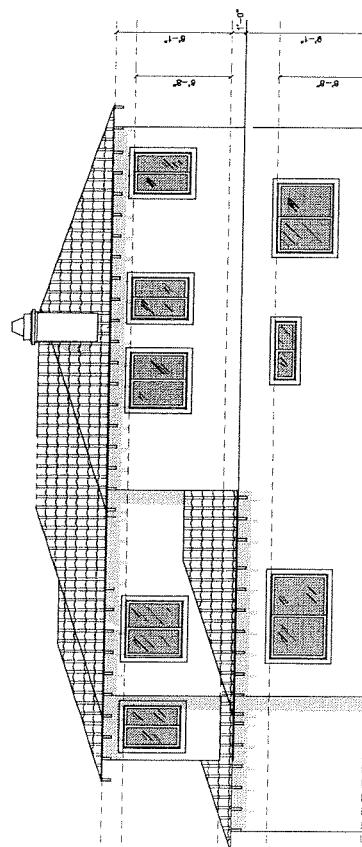
MODEL A ELEVATIONS
SCALE - $\frac{1}{4}'' = 1'$

LEFT ELEVATIONS - MODEL A
SCALE - $\frac{1}{4}'' = 1'$

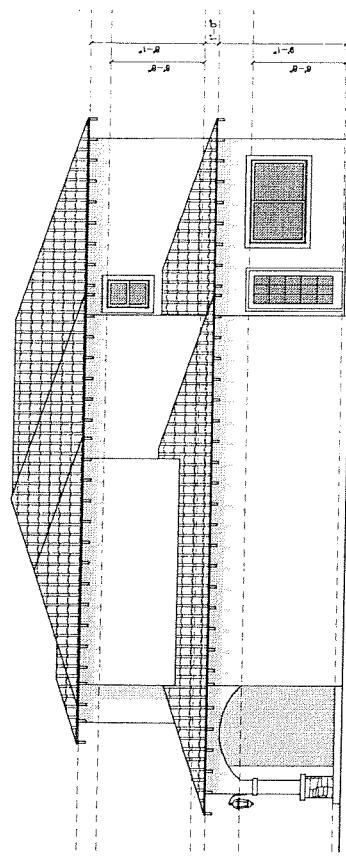
HERITAGE ESTATES
615 N BENSON AVE, SUITE C
TEL 909 373 1150 FAX 909 373 1152
615 N BENSON AVE, SUITE C
TEL 909 373 1150 FAX 909 373 1152
PETE VOLBEEDER Planning
Architectural
Design
Services
PLANNING
DESIGN
SERVICES
PETE VOLBEEDER Planning
Architectural
Design
Services
PLANNING
DESIGN
SERVICES
60644 CURTS STREET
LOMA LINDA, CA

MODEL A ELEVATIONS
SCALE - $\frac{1}{4}'' = 1'$

REAR ELEVATIONS - MODEL A
SCALE - $\frac{1}{4}'' = 1'$

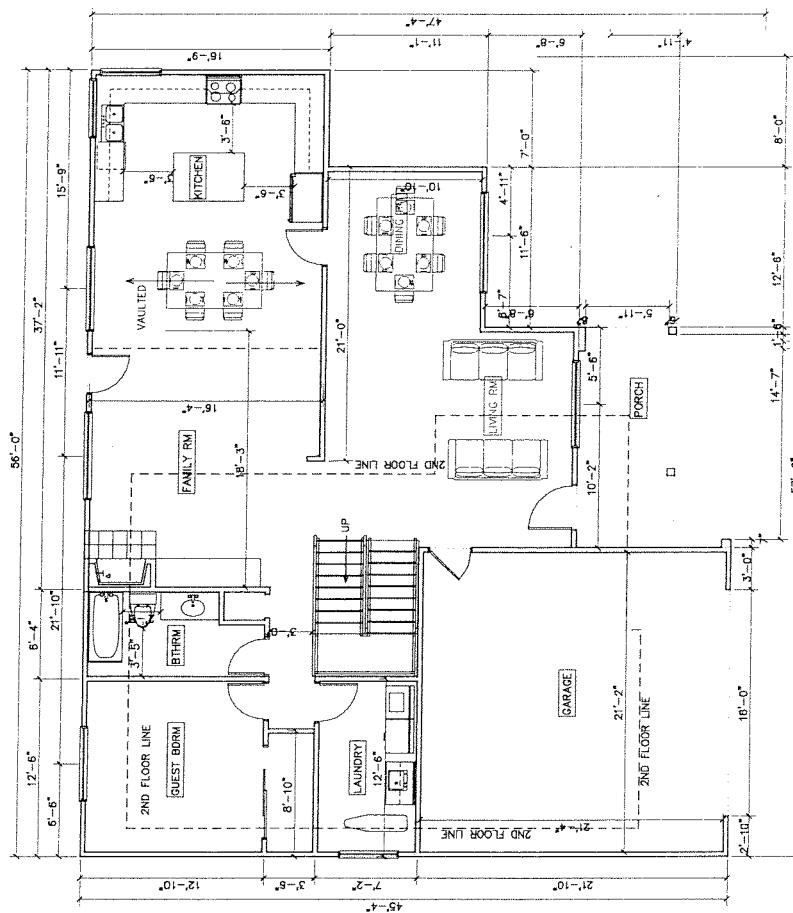


RIGHT ELEVATIONS - MODEL A
SCALE - $\frac{1}{4}'' = 1'$



1ST FLOOR PLAN-MODEL B

WALL LEGEND	
EXISTING WALLS	_____
NEW WALLS	_____
REMOVE WALL	_____



1ST Area = 1485
2ND FLOOR 816
TOTAL LIVING 2301

WATER HEATER SHALL BE LOCATED ON AN 18' PLATFORM. NEW OR REPLACEMENT WATER HEATER SHALL BE STRAPPED TO THE WALL IN TWO PLACES ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 2/3 OF THE TANK. THE LOWER POINT SHALL BE A MIN. OF FOUR INCHES ABOVE THE CONTROLS. (P.C. 510.5)

1ST FLOOR PLAN-MODEL B
SCALE 1/4"=1'

2ND FLOOR PLAN - MODEL B

LOMA LINDA, CA
10644 CURTIS STREET
LINDARGL ESTATE

TEL 909 373 1550 FAX 909 373 1152
SIS IN BURGESSON AWE, Suite C #1 El Cajon, CA 92028

GENERAL NOTES
CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS IN FELD PRIOR TO STARTING CONSTRUCTION. FLOOR SURVEYOR, ARCHITECT OR ANY DISCREPANCIES PRIOR TO FLOOR SURVEY SHALL BE ON ANY WORK IN QUESTION.
ALL STUDS SHALL BE STUD GRADE 2X4 • 16" OC. 2X6 AT PLUMBING STUDS.

FRAMING LUMBER SHALL BE AS FOLLOWS:
STUDS STUD GRADE NO 2 DF
JOISTS AND RAFTERS BEAMS AND Headers NO 1 DF
GLUE LAMINATED TIMBER 24 F VA UNO PROVIDE
CERTIFICATE TO INSPECTOR

POWER ACTUATED FASTENERS SHALL BE USED NO. 37 (37MM).
1-1/8" MIN PENETRATION, IBC NO. 1290 AND 2388, 5MM EDGE DISTANCE FROM THE EDGE OF CONCRETE WITH MIN. 2" SPACING. STUDS SHALL BE 4"-4" W/12" MIN. FROM END OF 2" PLATE. SHALL NOT BE USED ON PERIMETER FOOTING PER LA COUNTY BUILDING CODE. 100% OF ALL JOISTS SHALL BE POWER ACTUATED.

OWNER: GLEE TO FLOR JOISTS (U) NO. 50-0516. VERIFY W/
NAILING SCHEDULE
THE GENERAL CONTRACTOR IS TO USE THE NAILING SCHEDULE
PROVIDED IN THE LATEST ISSUE OF THE UNIFORM BUILDING CODE.
IT WOULD BE REDUNDANT TO DUPLICATE THIS INFORMATION SINCE
EVERY GENERAL CONTRACTOR SHOULD HAVE A COPY OF THE
CURRENT CODE BOOK AT HAND AND READILY AVAILABLE.

STRUCTURAL STEEL BAR SHALL CONFORM TO ASTM A95
DEFORMED GRADE 40
PLUMBING
ALL PLUMBOING DRAIN LINES SHALL BE CAST IRON IN WALLS
AND FLOORS

LOKOE DETECTORS. SP-2D-wire smoke detectors with a battery power source are installed in each sleeping room and at a point located in the corridor or area. Each detector is connected to a circuit board which contains a microprocessor. The detector shall be located at a height of 7' 6" above the floor level. On the upper level of split level stories and both levels of sleeping areas on lower level, a deflector shall be installed on the ceiling height of 7' 6" above the floor level. The detector shall be located in the center of the hallway serving the bedrooms exceeding 24' in length. If the bedrooms exceed 24' in length, detectors shall be installed in the hallway by 24' or more. Detectors shall be installed in the hallway and near the entrance to the sleeping rooms along the hallway. The detector shall be smoke detector permitted in existing instruction only.

This architectural floor plan illustrates the layout of a house with various rooms and their dimensions:

- Overall Dimensions:** The main rectangular area is 35'-11" wide by 10'-0" deep.
- Rooms and Features:**
 - KITCHEN:** Located at the front left, featuring a double sink, a range, and a refrigerator.
 - BREAKFAST ROOM:** Adjacent to the kitchen, containing a table and chairs.
 - CLOSET:** A walk-in closet located near the entrance.
 - MASTER BEDROOM:** A large bedroom with a double sink vanity, a large walk-in closet, and a walk-in shower.
 - BATH:** A bathroom located between the master bedroom and the laundry room.
 - LAUNDRY ROOM:** A small room with a washing machine and a dryer.
 - SLEEPING PORCH:** An additional room off the master suite.
 - STAIRS:** Stairs leading down from the main level.
 - REAR PORCH:** A large rear porch measuring 12' x 28'.
- Dimensions:**
 - Front Elevation: 34'-2"
 - Left Wall: 7'-8", 10'-0", 13'-7", 15'-5", 15'-11", 13'-7", 6'-1"
 - Right Wall: 10'-8", 6'-0", 5'-6", 12'-0", 6'-2", 11'-0", 6'-2", 28'-2"
 - Depth: 10'-0", 3'-4", 10'-2", 3'-0", 8'-0", 9'-8", 25'-3", 10'-3", 10'-4", 35'-11"

Area = 816,4838 units squared.

2ND FLOOR PLAN— MODEL B
SCALE 1/4"=1'

MODEL B ELEVATIONS

LOMA LINDA, CA
10644 CORTIS STREET

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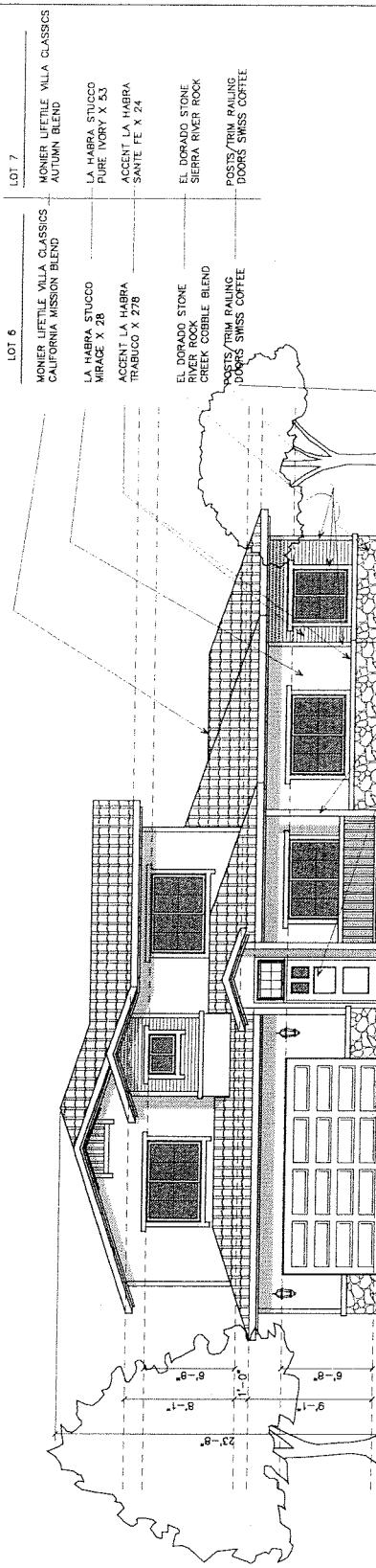
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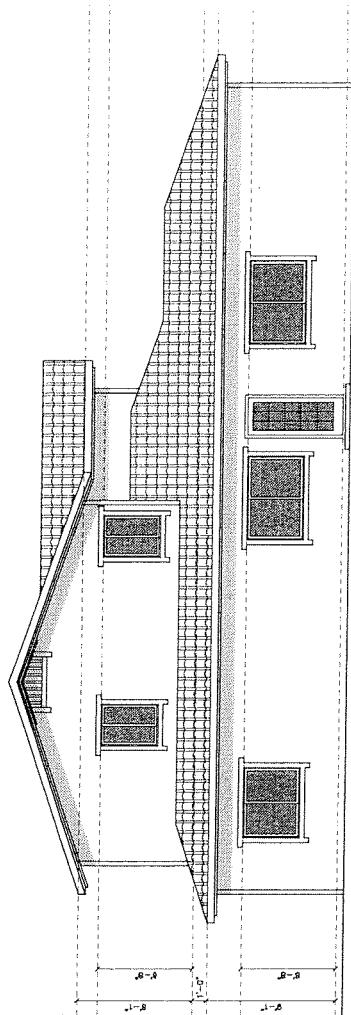
TEL 909 373 1150 FAX 909 373 1152

6/26

DATE



FRONT ELEVATIONS—MODEL B—CRAFTSMAN STYLE
SCALE-1/4"=1'



REAR ELEVATIONS—MODEL B—CRAFTSMAN STYLE
SCALE-1/4"=1'

MODEL B ELEVATIONS

SCALE-1/4"=1'

MODEL B ELEVATIONS

10644 CURTIS STREET
LOMA LINDA, CA

TEL 909 373 1150 FAX 909 373 1152

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LOMA LINDA, CA

PETE VOLBEEDEA BREHMBEELEHPE PABRINIG

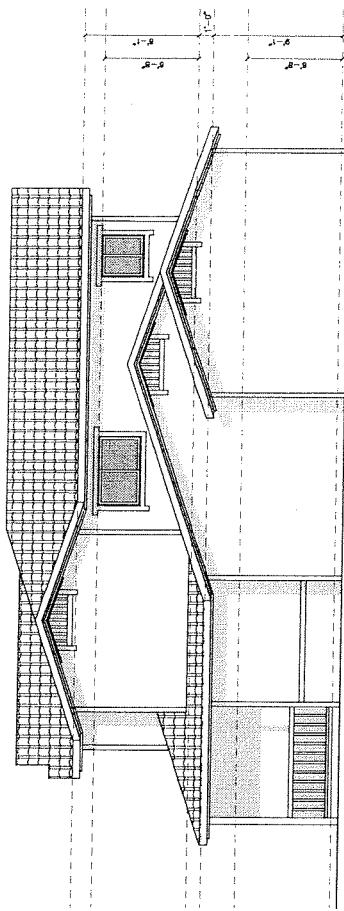
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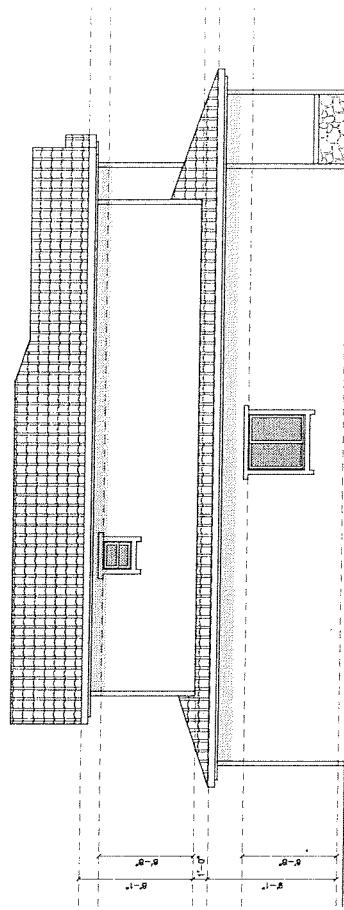
REVIEWS

ESSAYS

HERITAGE



RIGHT ELEVATIONS—MODEL B—CRAFTSMAN STYLE
SCALE 1/4"-1'

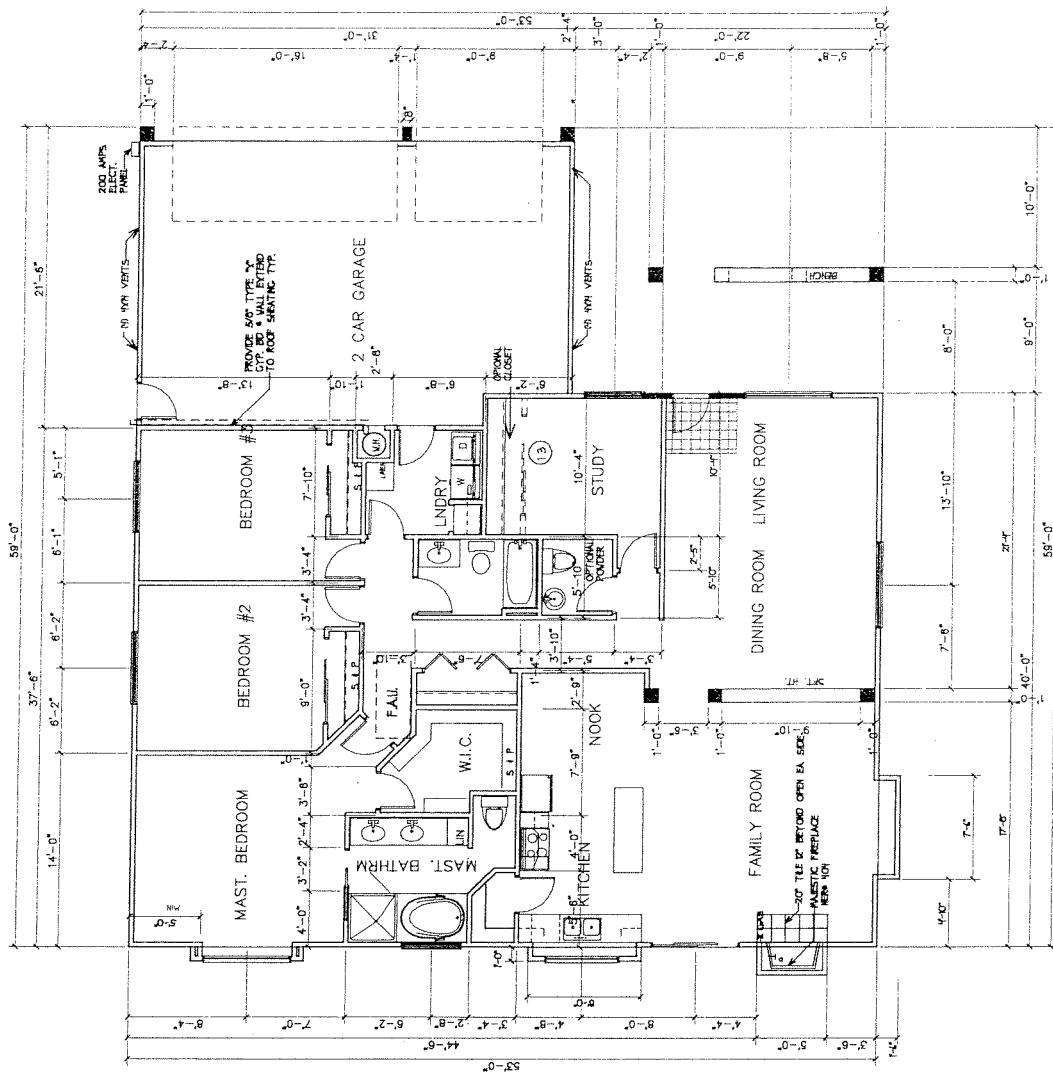


LEFT ELEVATIONS—MODEL B—CRAFTSMAN STYLE
SCALE: 1/4" = 1'

MODEL B ELEVATIONS
SCALE $1/4'' = 1'$

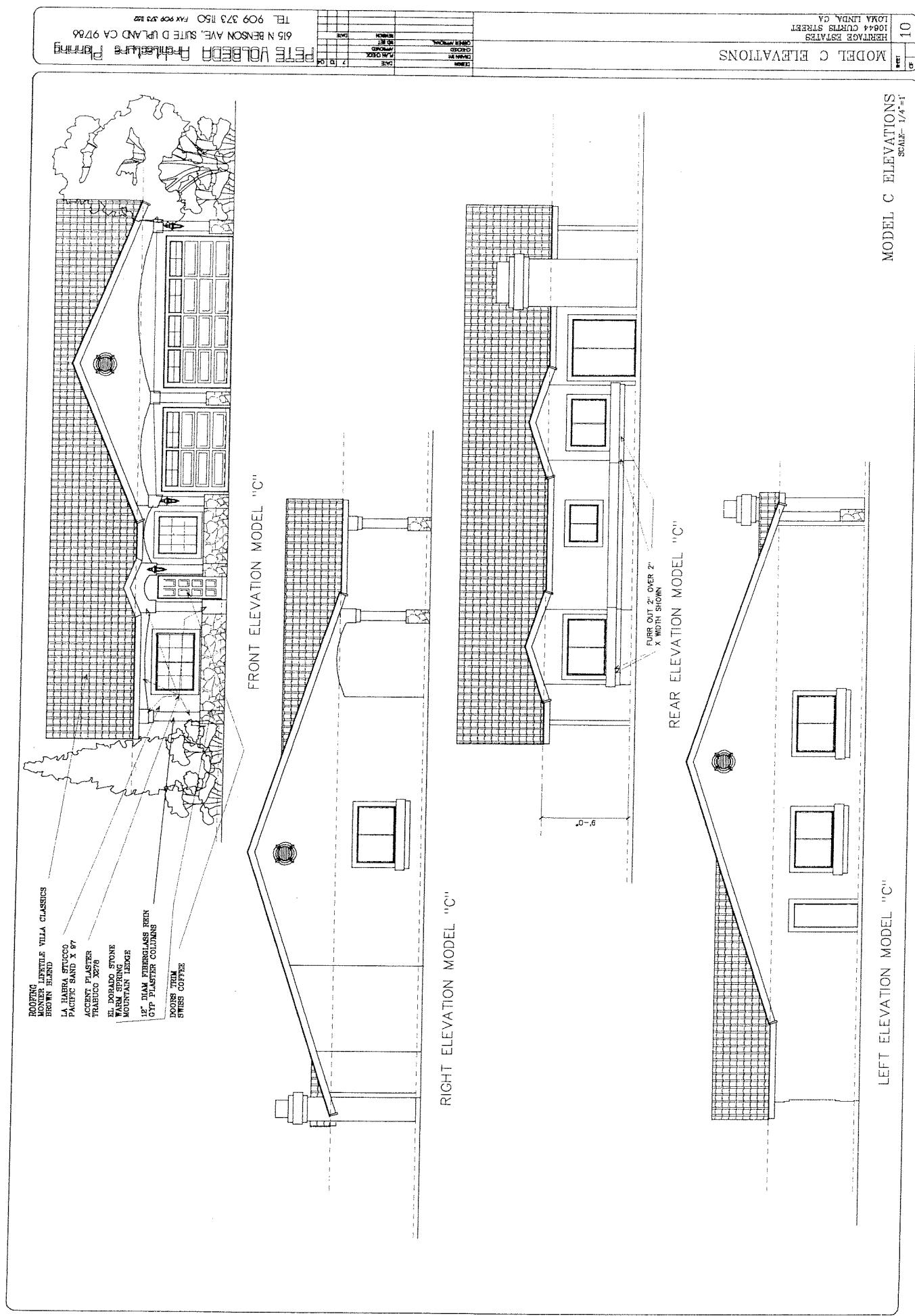
100-4 OAKWOOD STATION
LOMITA, CALIFORNIA 90560
TEL. 909 373 1150 FAX 909 373 1150

FLOOR PLAN - MODEL C



FLOOR PLAN - MODEL C
SCALE 1/4" = 1'-0"

FLOOR AREA 2072 SQ FT



E1

152

TEL

909 373 1150

FAX

9786

615 N BENSON AVE.

SUITE C

CUPERTINO CA

95014

HERITAGE ESTATES

(EXISTING RESIDENCE ON LOT 1)

LOT 1

EXISTING ELEVATIONS

SHEET

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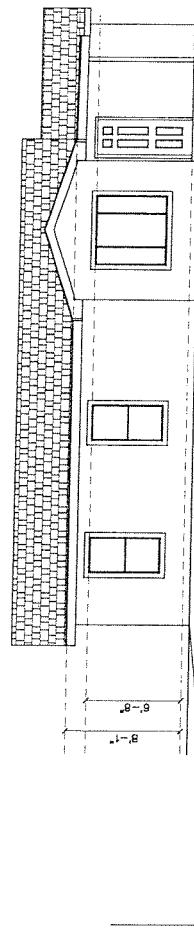
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97

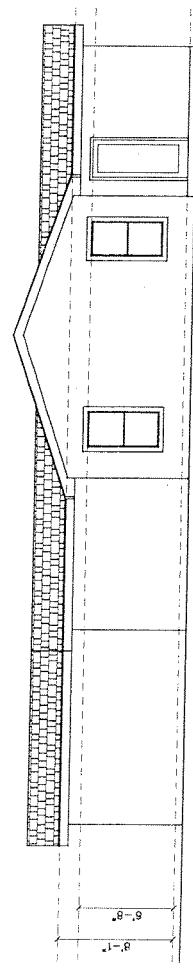
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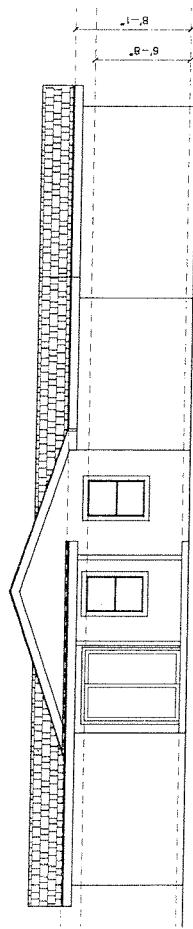
100



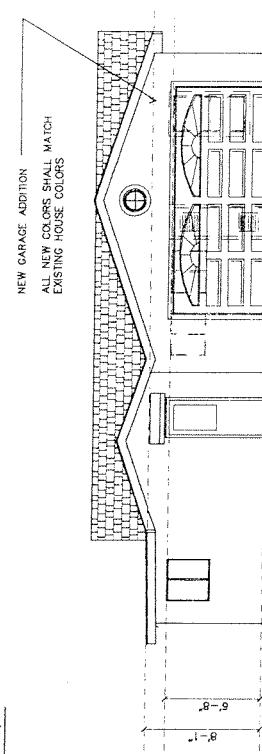
FRONT ELEVATION SCALE: 1/4"=1'



LEFT ELEVATION SCALE: 1/4"=1'



RIGHT ELEVATION SCALE: 1/4"=1'



NORTH/ REAR ELEVATION SCALE: 1/4"=1'

E2

9

CA

Loma Linda, CA

NET

LOT 2 EXISTING ELEVATIONS

E2

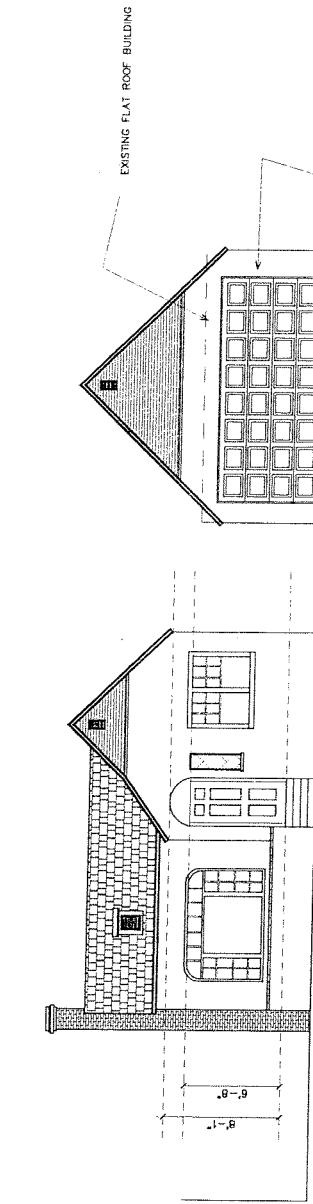
9

LOT 2

EXISTING RESIDENCE ON LOT 2

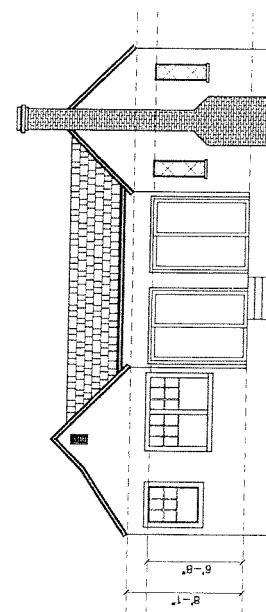
E2

9

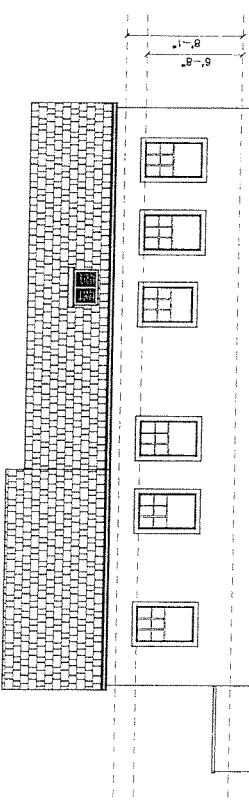


FRONT ELEVATION SCALE: 1/4"=1'

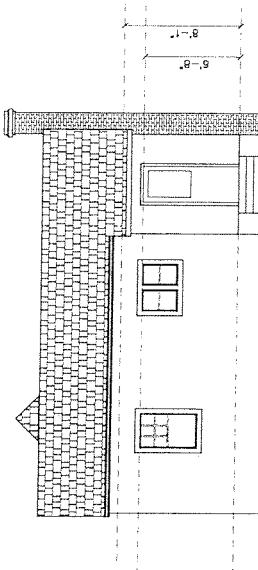
REMODEL EXISTING GARAGE BY
ALONG THE EXISTING OPENING
NEW OPENING
ADD ROOF TO EXISTING BUILDING
TO MATCH EXISTING RESIDENCE



LEFT ELEVATION SCALE: 1/4"=1'



RIGHT ELEVATION



REAR ELEVATION

HERITAGE ESTATES (EXISTING RESIDENCE ON LOT 2)
615 N BENSON AVE., SUITE C UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

PETE VOLBEDA

Architect

Pitrilli

Plumbing

Electrical

HVAC

Landscaping

Driveway

Decking

Fencing

Roofing

Windows

Doors

Trim

Decks

Sheds

Garage

Patio

Porch

Deck

Balcony

Terrace

Patio

Porch

Deck

Attachment B

Complete Letter Checklist



City of Loma Linda

25541 Barton Road, Loma Linda, CA 92354 **(909) 799-2830** **(909) 799-2894**
Community Development Department

April 10, 2006

Mr. Pete Volbeda
615 N. Benson Ave.
Upland, CA 91786

RE: Tentative Tract Map (TTM) No. 17650 and Precise Plan of Design (PPD) No. 06-08

A request to demolish two existing single-family residences, remodel two existing single-family structures, subdivide an existing 2.30 acre property into eight lots, and construct six new single-family dwellings. The project is located west of Lomas Verdes Street and north of Curtis Street in a single-family residence (R-1) zone.

Dear Mr. Volbeda:

This letter is to inform you that the above referenced project has been deemed complete for the application submittal requirements.

On March 28, 2006, the Administrative Review Committee (ARC) reviewed the submittal of your project and provided the following attached comments. Please revise your plans to meet the requirements of the items noted on the attached list on or before May 10, 2006. Your project is tentatively scheduled for the Historical Commission meeting for Monday, June 5, 2006 and for the Planning Commission meeting on Wednesday, June 7, 2006.

If you would like to meet with staff to discuss the comments brought up during the recent ARC meeting, please contact me at (909) 799-2830.

Sincerely,

COMMUNITY DEVELOPMENT DEPARTMENT
Planning Division

Allan Penaflorida
Planning Technician

COMMENTS FROM ADMINISTRATIVE REVIEW COMMITTEE (ARC) MEETING (03-28-06)

1. The applicant shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development (including custom single-family residences). Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits. Please contact Elliot Patterson, Information Systems Supervisor at (909) 799-2897 for further information.
2. In lieu of the affordable housing requirement, the proposed project is subject to an approved Development Agreement between the applicant and the City of Loma Linda Redevelopment Agency. Please contact Pam O'Camb, City Clerk and Redevelopment Agency Secretary at (909) 799-2819 for further information.
3. Due to the shape and angle of the interior street (if dedicated) in relation to the proposed intersection, and the associated site distance and alignment issues, the Public Works Department has determined that the current layout is not approvable. Revisions are being requested as well as an approvable traffic study. Please contact Jeff Peterson (Public Works Associated Engineer) at 909.799.4407 for further inquiries.
4. Please revise the elevations to the new houses to include more windows to address blank exterior spaces, shutters, and extension of stone veneer on the side elevation to the front of the fence line.
5. Please revise the plans to include the proposed improvements to the existing structures. The proposed renovations to the existing homes fronting Park Avenue should also include enhanced landscaping that is consistent with the six new homes.
6. Please submit a complete historical resources analysis study for the site including an archeological survey, historical resources management report, and mitigations. Please examine the attached referral list for historical resources consultants.
7. The applicant shall indicate whether the interior street is public or private and maintained by Homeowners Association.
8. The addresses of the existing homes may be revised at the discretion of the Fire Department. The applicant shall indicate if the current tenants are to remain on the property.